

FOR LEASE

8,480 SF

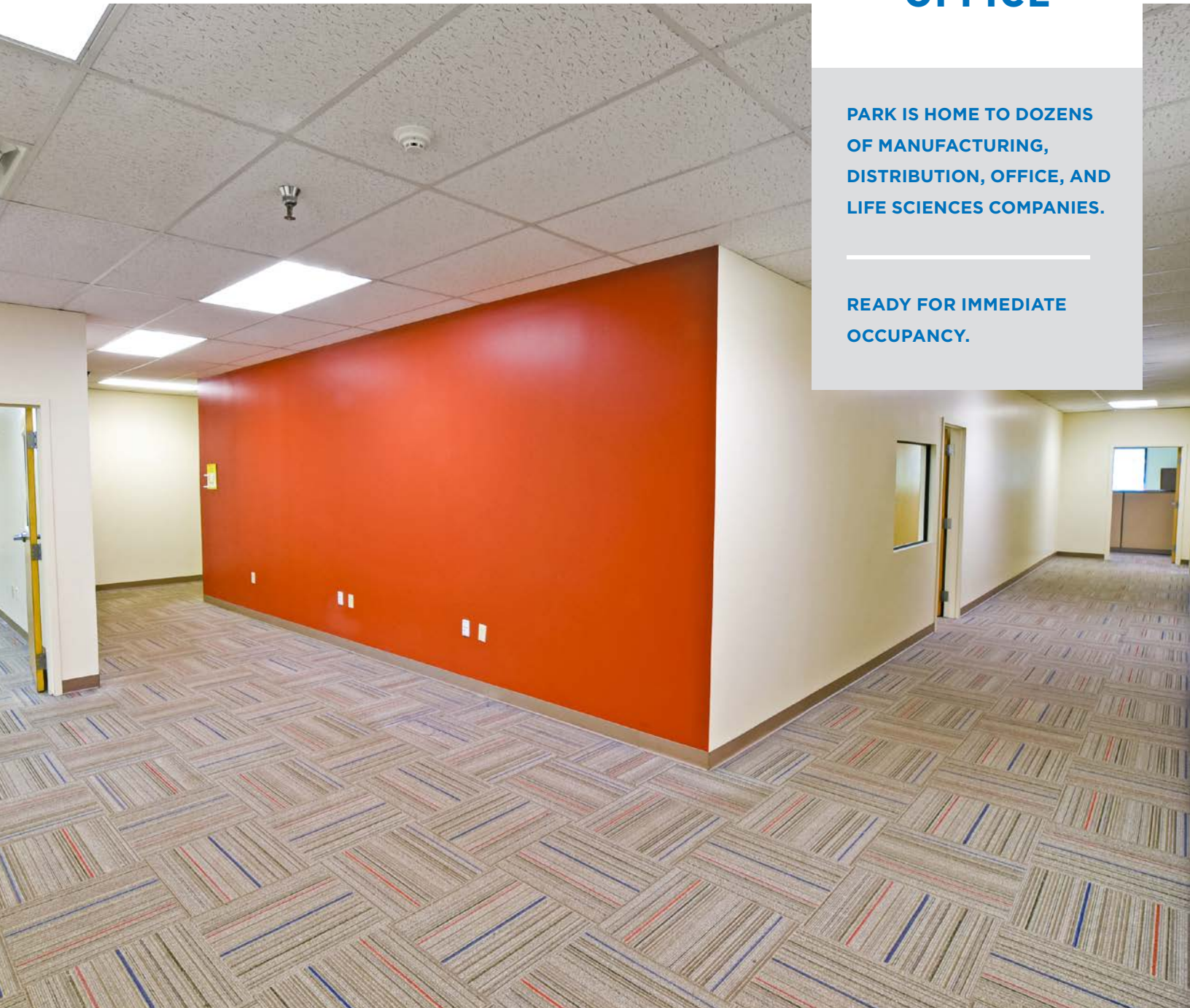
225 STEWART ROAD
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP, PA



OFFICE

PARK IS HOME TO DOZENS
OF MANUFACTURING,
DISTRIBUTION, OFFICE, AND
LIFE SCIENCES COMPANIES.

READY FOR IMMEDIATE
OCCUPANCY.



PARTIALLY FURNISHED OFFICE SPACE FIVE MINUTES FROM I-81

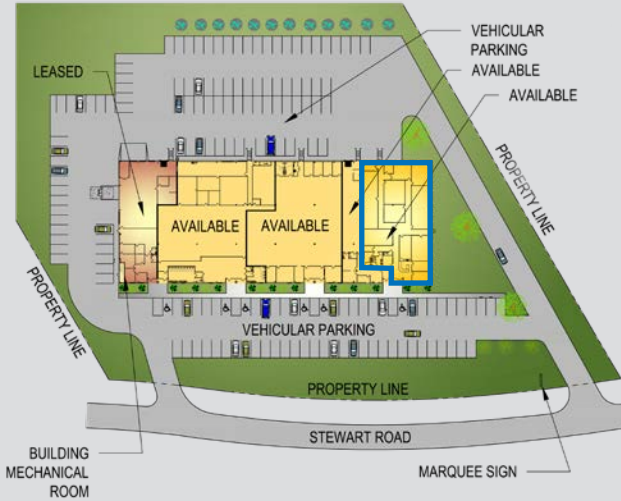
mericle.com  570.823.1100



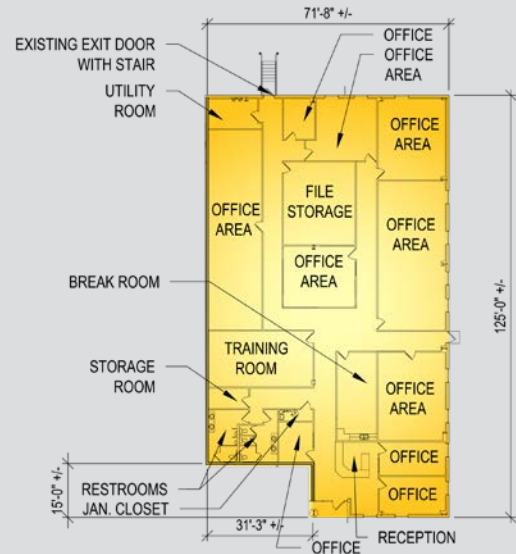
PLANS & SPECS

Information shown is purported to be from reliable sources. No representation is made to the accuracy thereof, and is submitted subject to errors, omissions, prior sale/lease, withdrawal notice, or other conditions.

SITE PLAN



FLOOR PLAN



SIZE

- ▶ **AVAILABLE SPACE:** 8,480 SF for lease in a 40,000 SF flex/office building.
- ▶ **ACREAGE:** 6.7 acres

SPACE IMPROVEMENTS

- ▶ Includes office fit-out with carpet tile, resilient flooring, and an acoustical suspended ceiling system at approximately 9'-0" above finish floor.
- ▶ Has a built-in reception desk and includes systems furniture in excellent condition.
- ▶ Space is at one end of the building and has windows along the front, side, and rear walls.
- ▶ The structure is a pre-engineered steel building with a combination of architectural masonry and insulated metal panel walls, an insulated standing seam metal roof, and thermally-broken aluminum framed glass doors and windows.
- ▶ Has a 6" thick, reinforced concrete slab floor.
- ▶ The building entrances are covered.

SITE AMENITIES

- ▶ Abundant on-site vehicle parking.
- ▶ Professionally maintained landscaping.
- ▶ Marquee sign at entrance to site.
- ▶ LCTA bus route serves park.
- ▶ 24/7/365 property management service available.

UTILITIES & BUILDING SYSTEMS

- ▶ **ELECTRICAL SERVICE:** 200 Amp, 120/208 Volt, 3-Phase electrical service.
- ▶ **LIGHTING:** The available office spaces have 2 x 4 fluorescent, troffer light fixtures with prismatic lenses.
- ▶ **HVAC:** Gas/electric packaged rooftop units to supply HVAC to the space.
- ▶ **FIRE PROTECTION:** Class III, Ordinary Hazard sprinkler system.
- ▶ **UTILITIES:** All utilities shall be separately metered.
- ▶ **ELECTRIC:** PPL Utilities
- ▶ **GAS:** UGI Utilities, Inc.
- ▶ **WATER:** Pennsylvania American Water Company
- ▶ **SEWER:** Wyoming Valley Sanitary Authority
- ▶ **TELECOM:** Verizon, Service Electric/PenTeleData, Century Link, Frontier Communications, and Zayo provides service to the park.

FOR LEASE

225 STEWART ROAD, HANOVER TOWNSHIP, PA

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WHY THIS LOCATION



LABOR DRAW

More than 700,000 people live within 30 miles of Hanover Industrial Estates. Seventeen college campuses with close to 50,000 enrolled students are within an hour drive.



QUICK COMMUTE TO MAJOR SITES AND CITIES

NEPA is the center of the Boston/Washington Corridor and is at the confluence of five major highways. Interstates 81, 80, 84, 380, and 476 meet at this inland hub and provide excellent access to firms wishing to serve Maine to Virginia and west to Ohio.



JOB TRAINING

Job training grants will help reduce your costs in Hanover Industrial Estates. Mericle will arrange meetings between your leadership and the officials who coordinate these programs.



This 40,000 square foot flex/office facility is located 2.3 miles from I-81 and is less than 10 minutes from Downtown Wilkes-Barre. CVS Caremark, Adidas, Patagonia, Chewy.com, Wren Kitchens, and more call Hanover Industrial Estates home.



EMPLOYMENT & UNEMPLOYMENT DATA

FOR LACKAWANNA & LUZERNE COUNTIES

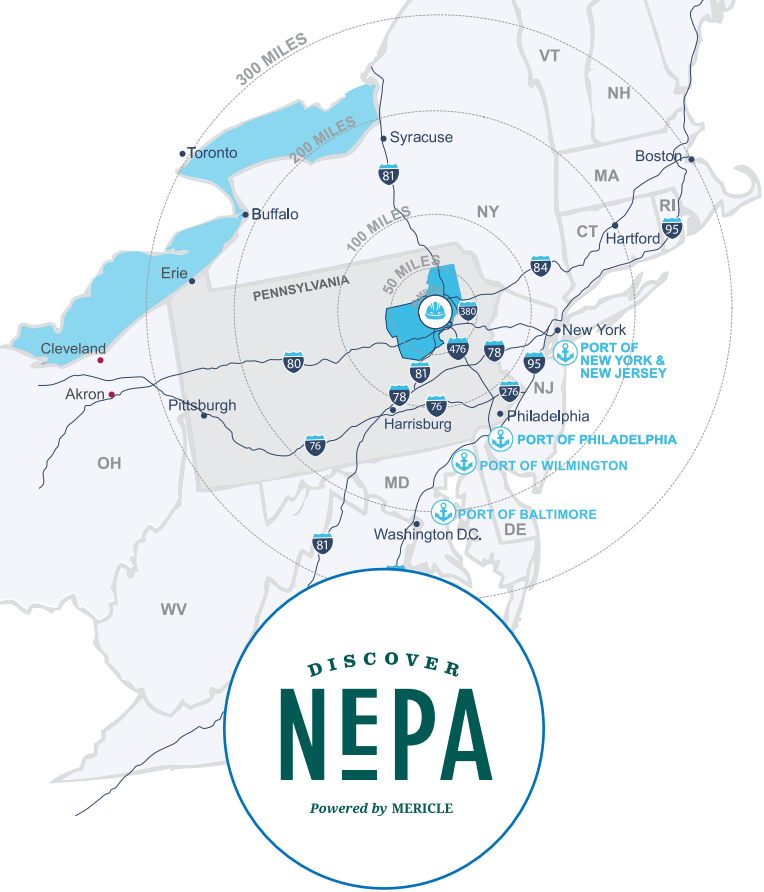
YEAR	NEPA REGION CIVILIAN LABOR FORCE	EMPLOYED	UNEMPLOYED	NEPA	PA	US
2022	273,300	257,700	15,600	5.7%	4.2%	3.3%
2021	273,500	252,600	20,900	7.6%	6.3%	5.4%
2020	277,800	249,100	28,700	10.3%	9.1%	8.1%
2019	280,100	264,800	15,300	5.5%	4.5%	3.7%

Source: workstats.dli.pa.gov

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Northeastern Pennsylvania (NEPA) is close to big cities, but features affordable living, safe neighborhoods, access to recreation, and the opportunity to be heard and make a difference.

Check out **DiscoverNEPA.com** (search “Wilkes-Barre”) for events, shopping, dining, and many, many things to do!

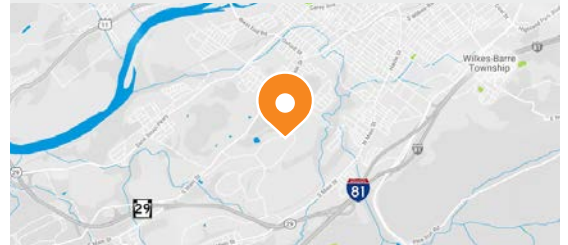
Mericle is Northeastern Pennsylvania proud.

CENTRALLY LOCATED ON NORTHEASTERN PENNSYLVANIA'S I-81 CORRIDOR



TRAVEL DISTANCES

CITY	MI AWAY
Downtown Wilkes-Barre, PA	4
Scranton, PA	24
Delaware Water Gap, PA	57
Allentown, PA	67
Morristown, NJ	96
Philadelphia, PA	113
Harrisburg, PA	116
Port of Newark, NJ	126
New York, NY	128
Syracuse, NY	152
Baltimore, MD	194
Hartford, CT	198
Washington DC	237
Pittsburgh, PA	290
Boston, MA	301



Mericle, a Butler Builder®, is proud to be part of a network of building professionals dedicated to providing you the best construction for your needs.

BOB BESECKER, Vice President
bbesecker@mericle.com

JIM HILSHER, Vice President
jhilsher@mericle.com

BILL JONES, Vice President
bjones@mericle.com

To learn more, please call one of us at 570.823.1100 to request a proposal and/or arrange a tour.

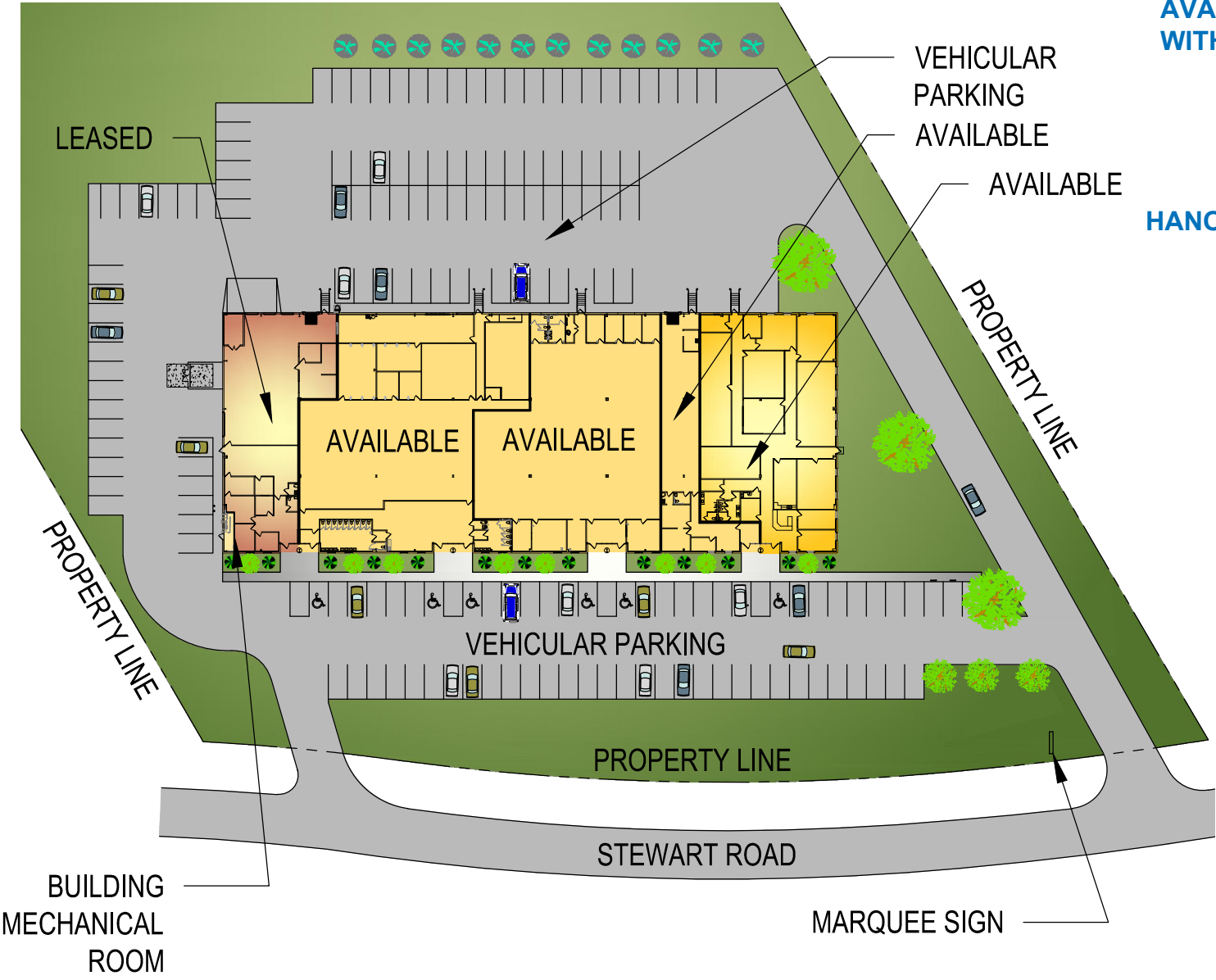
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EXISTING SITE PLAN

**AVAILABLE 8,480 S.F. FACILITY
WITHIN AN EXISTING 40,000 S.F.
MULTI-TENANT BUILDING**

**PARCEL 10E
225 STEWART ROAD
HANOVER INDUSTRIAL ESTATES
HANOVER TOWNSHIP
WILKES-BARRE, PA 18706**



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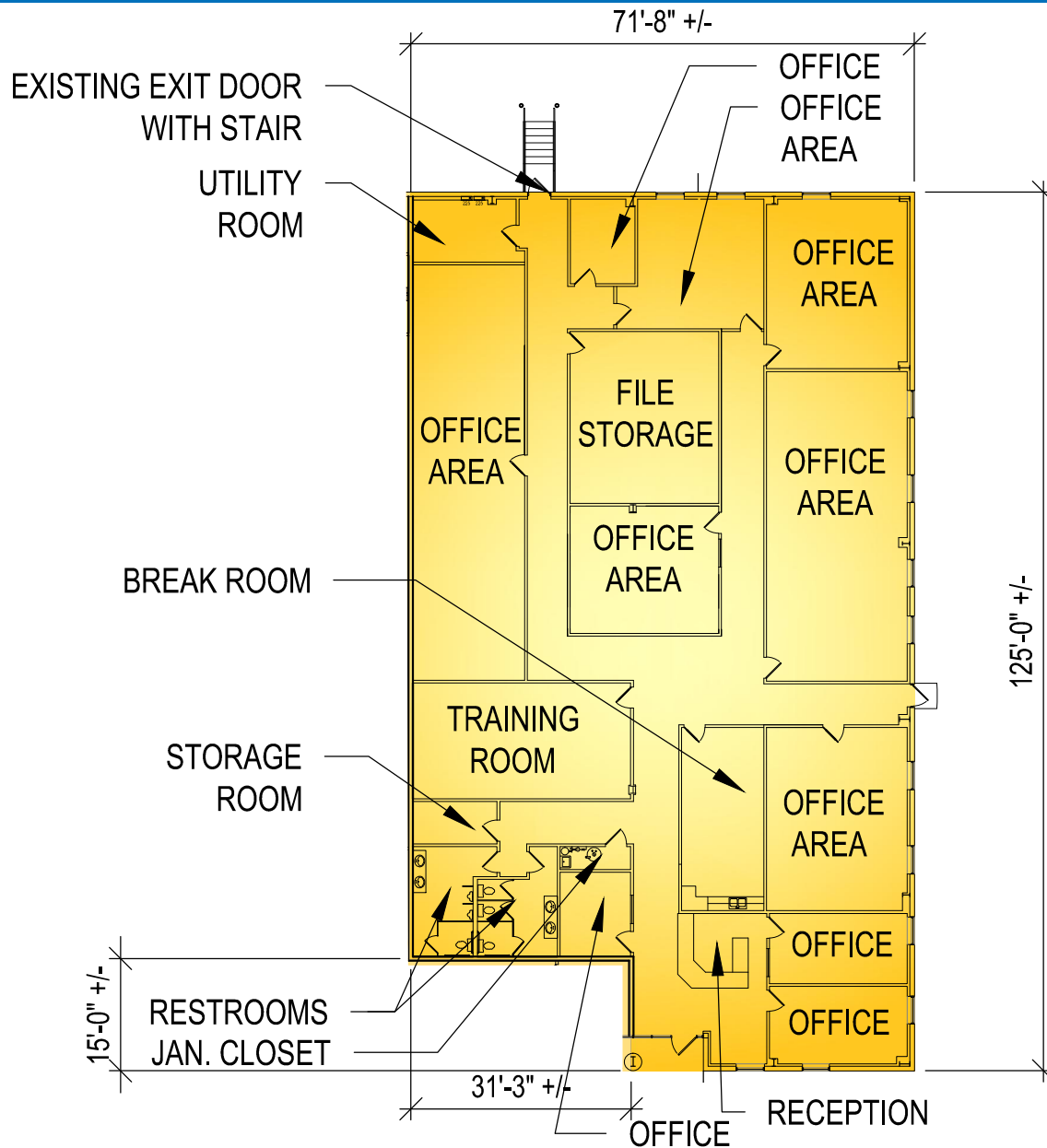
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MERICLE
COMMERCIAL REAL ESTATE SERVICES
East Mountain Corporate Center
100 Baltimore Drive
Wilkes-Barre, PA 18702
Developing Northeastern Pennsylvania's I-81 Corridor Since 1985

EXISTING FLOOR PLAN

AVAILABLE 8,480 S.F. FACILITY
WITHIN AN EXISTING 40,000 S.F.
MULTI-TENANT BUILDING

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East Mountain Corporate Center
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SPECIFICATIONS

SITE AMENITIES

- Site contains 6.7 acres.
- On-site parking available for up to 34 vehicles.
- Asphalt paved parking lot, including heavy-duty pave in truck areas.
- Site has professionally maintained landscaping.
- Marquee sign at entrance to site.
- LCTA Bus Route serves this park.

EXISTING BUILDING IMPROVEMENTS

- The existing building is a multi-tenant, flexible space building containing a total of 40,000 S.F.
- The available space is 8,480 S.F. with available adjacent space of an additional 25,774 S.F.
- The available space includes is an existing office fit-out with carpet tile carpeting, resilient flooring, and an acoustical suspended ceiling system at approximately 9'-0" above finish floor.
- The available space has a built-in reception desk.
- The available space is located at one end of the building and has existing windows along the front, side, and rear walls.
- The existing building structure is a pre-engineered steel building with a combination of architectural masonry and insulated metal panel walls, an insulated standing seam metal roof, and thermally-broken aluminum framed glass doors and windows.
- The existing building has a 6" thick, reinforced concrete slab floor.
- The main building entrances are covered.

UTILITIES AND BUILDING SYSTEMS

- The available space is served by a 200 amp, 120/ 208 v, 3-phase electrical service.
- The available office spaces have 2 x 4 fluorescent, troffer light fixtures with prismatic lenses.
- The available space has gas/ electric packaged rooftop units to supply HVAC to the space.
- The available space has an existing, Class III, Ordinary Hazard sprinkler system.
- Domestic water and natural gas available.
- All utilities shall be separately metered.

**AVAILABLE 8,480 S.F. FACILITY
WITHIN AN EXISTING 40,000 S.F.
MULTI-TENANT BUILDING**

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